



# MECHANICAL UPDATES AND RELATED WORK AT WATERLOO ELEMENTARY SCHOOL

1933 SOUTH CUSTER ROAD, MONROE, MI 48161

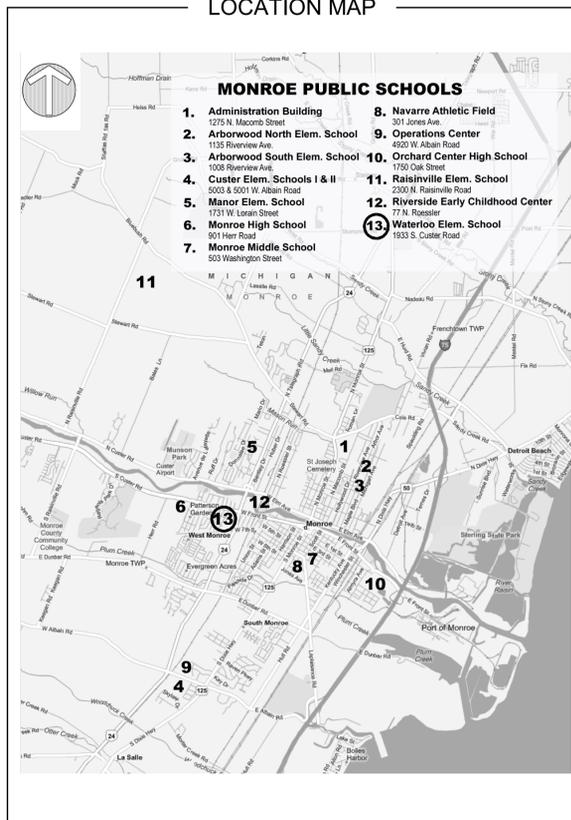


**KOHLER**  
ARCHITECTURE  
1118 WEST FRONT STREET  
MONROE, MICHIGAN 48161  
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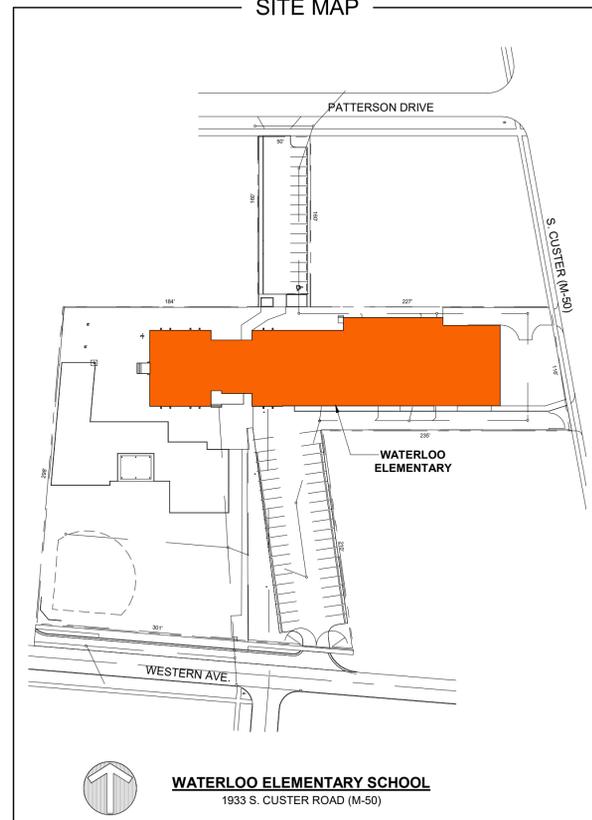


DATE	DESCRIPTION
7/12/2022	BIDDING & STATE REVIEW

LOCATION MAP



SITE MAP



PROJECT DIRECTORY

**OWNER:**  
MONROE PUBLIC SCHOOLS  
1275 N. MACOMB STREET  
MONROE, MICHIGAN 48162

**ARCHITECT:**  
KOHLER ARCHITECTURE, INC.  
1118 WEST FRONT STREET  
MONROE, MICHIGAN 48161

**MEP ENGINEER:**  
DESIGN ENGINEERS & CONSULTING, INC.  
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MAUMEE, OHIO 43537

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**STRUCTURAL ENGINEER:**  
LKL ENGINEERS, LTD.  
2735 N. HOLLAND-SYLVANIA  
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PROJECT DESCRIPTION

**PROJECT NARRATIVE:**  
WORK BEING PERFORMED WILL CONSIST OF MECHANICAL UPDATES CONSISTING OF NEW HIGH EFFICIENCY CONDENSING BOILERS, NEW PIPING, NEW DISTRIBUTION PUMPS, CABINET HEATERS AND NEW UNIT VENTILATORS IN EACH CLASSROOM WITH COMPLETE TEMPERATURE CONTROL SYSTEM INTEGRATION. WORK SHALL INCLUDE THE ARCHITECTURAL TRADES ASSOCIATED WITH THE MECHANICAL WORK BEING PERFORMED - I.E. PATCHING / PAINTING OF CMU WALLS, SUSPENDED ACCOUSTICAL CEILINGS, FLOORING, EPDM ROOFING, ETC. SEE DRAWINGS FOR DETAILS.

**MECHANICAL UPDATES AND RELATED WORK**  
**WATERLOO ELEMENTARY SCHOOL**  
1933 SOUTH CUSTER ROAD, MONROE, MI 48161  
**MONROE PUBLIC SCHOOLS**  
1275 N. MACOMB STREET, MONROE, MI 48162

AT FOR

JOB #	22114
DRAWN	JJW
CHECKED	VMC

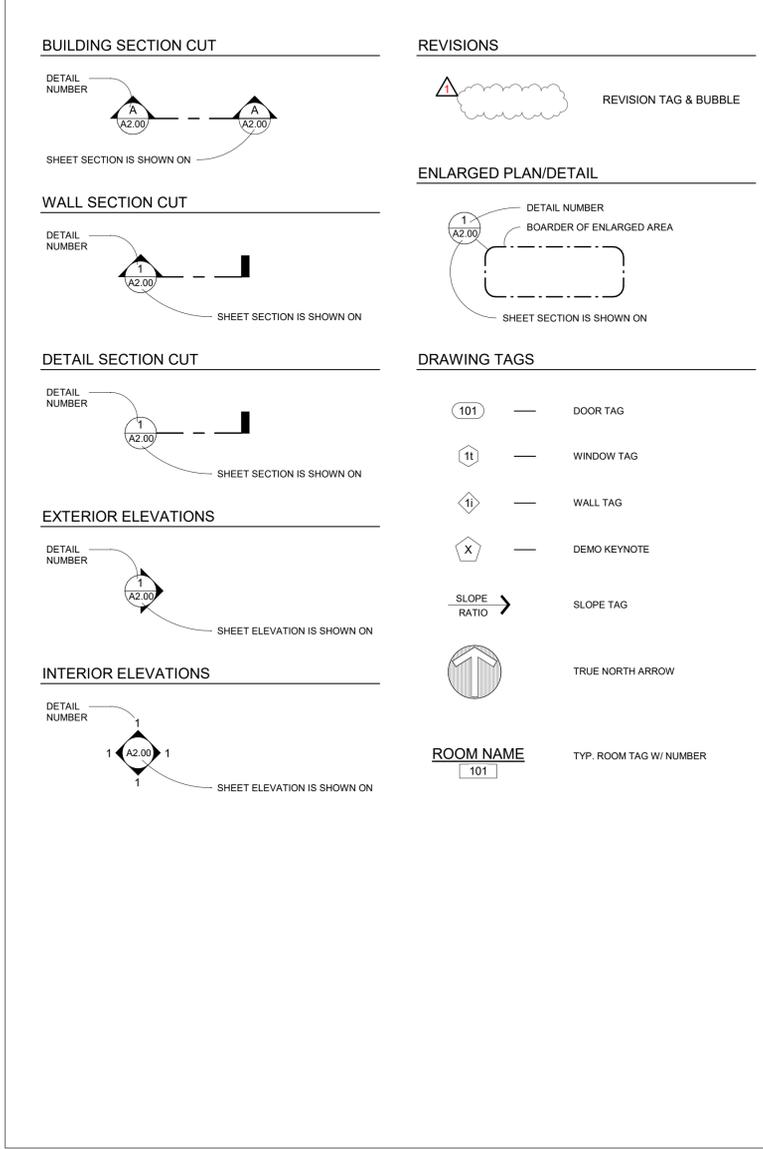
TITLE SHEET

# T0.00

ABBREVIATIONS

"	INCHES	ENCL	ENCLOSURE	LOC	LOCATION	SIM	SIMILAR TO
#	POUND/NUMBER	ENT	ENTRANCE	LT	LIGHT	SKY	SKYLIGHT
%	PERCENT	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	LTL	LINTEL	SMH	SEWER MANHOLE
&	AND	EQ	EQUAL	LVR	LOUVER	SP	SPACES
'	FEET	EQU	EQUAL	LW	LONG WAY	SPEC	SPECIFICATION
/	PER	EQUIP	EQUIPMENT	M.O.	MASONRY OPENING	SQ	SQUARE
<	ANGLE	EXC	EXCAVATE / EXCAVATION	MAS	MASONRY	SS	SOLID SURFACE
@	AT	EXIST	EXISTING	MATL	MATERIAL	SSMA	STEEL STRUCTURAL MANUFACTURERS ASSOCIATION
©	COPYRIGHT	EXP	EXPANSION	MAX	MAXIMUM	SST	STAINLESS STEEL
°	DEGREE	EXPD	EXPOSED	MBR	MEMBER	STD	STANDARD
±	PLUS/MINUS	EXT	EXTERIOR	MC	MOMENT CONNECTION	STIFF	STIFFENER
∅	DIAMETER	F.A.	FIRE ALARM	MDF	MEDIUM DENSITY FIBREBOARD	STL	STEEL
A.B.	ANCHOR BOLT	F.E.	FIRE EXTINGUISHER	MECH	MECHANICAL	STOR	STORAGE
A.C.	AIR CONDITIONING	F.E.C.	FIRE EXTINGUISHER CABINET	MED	MEDIUM	STRUC	STRUCTURAL
A.D.	AREA DRAIN	F.H.Y.D.	FIRE HYDRANT	MEMB	MEMBRANE	SUSP	SUSPENDED
ACT	ACOUSTICAL CEILING TILE	F.O.	FACE OF	MEZZ	MEZZANINE	SW	SHORT WAY
ADD	ADDITIONAL	F.O.C.	FACE OF CONCRETE / CURB	MFR	MANUFACTURER	SYM	SYMMETRICAL
ADDM	ADDENDUM	F.O.F.	FACE OF FINISH	MH	MANHOLE	T&B	TOP AND BOTTOM
ADJ	ADJUSTABLE	F.O.M.	FACE OF MASONRY	MIN.	MINIMUM	T&G	TOUNGE AND GROOVE
AFF	ABOVE FINISHED FLOOR	F.O.S.	FACE OF STUDS	MIR	MIRROR	T.	TREAD
AGGR	AGGREGATE	F.R.	FIRE RATED	MISC.	MISCELLANEOUS	T.G.	TEMPERED GLASS
AHU	AIR HANDLING UNIT	F.R.P.	FIBER-REINFORCED PLASTIC	MTD	MOUNTED	T.O.	TOP OF
ALT	ALTERNATE	F.R.T.	FIRE RETARDANT TREATED	MTG.	MOUNTING HEIGHT	T.O.C.	TOP OF CONCRETE
ALUM	ALUMINUM	F.S.	FAR SIDE	HT.	HEIGHT	T.O.M.	TOP OF MASONRY
ANOD	ANODIZED	F/B/LDG.	FACE OF BUILDING	MULL	MULLION	T.O.S.	TOP OF STEEL
APPRO	APPROXIMATE	F/C/CONC.	FACE OF CONCRETE	MULT	MULTIPLE	T.S.	TUBE STEEL
X		FDC	FIRE DEPARTMENT CONNECTION	N	NORTH	T.V.	TELEVISION
ARCH	ARCHITECTURAL	FF	FINISH FLOOR	N.I.C.	NOT IN CONTRACT	TECH	TECHNICAL
AUTO	AUTOMATIC	FFE	FINISH FLOOR ELEVATION	N.O.	NUMBER	TELE	TELEPHONE
B.O.	BOTTOM OF	FHV	FIRE HOSE VALVE CABINET	N.R.	NOT RATED	TEMP	TEMPERATURE
B.P.L.	BASE PLATE	FIN.	FINISH	N.S.	NEAR SIDE	TERR	TERRAZZO
BD	BOARD	FIXT	FIXTURE	N.T.S.	NOT TO SCALE	THRU	THROUGH
BDF	BUILDING DISTRIBUTION FACILITY	FLASH	FLASHING	N.F.P.A.	NATIONAL FIRE PROTECTION ASSN	TRANS	TRANSITION
BFP	BACK FLOW PREVENTER	FLG	FLANGE	NOM	NOMINAL	TYP.	TYPICAL
BIT	BITUMINOUS	FLR	FLOORING	NORM	NORMAL	U.N.O.	UNLESS NOTED OTHERWISE
BLDG	BUILDING	FLUOR	FLUORESCENT	NRC	NOISE REDUCTION COEFFICIENT	UL	UNDERWRITERS LABORATORIES, INC.
BLK	BLOCK	FRMG	FRAMING	O.C.	ON CENTER	UNF	UNFINISHED
BLKG	BLOCKING	FT	FOOT / FEET	O.D.	OVERFLOW DRAIN	UR	URINAL
BM	BEAM	FTG	FOOTING	O.F.	OUTSIDE FACE	V.A.T.	VINYL ASBESTOS TILE
BOT	BOTTOM	FURR	FURRING	O.F.S.	OUTSIDE FACE OF STUD	VB	VAPOR BARRIER
BRDG	BRIDGING	G	GAS	O.H.	OVERHEAD	VCT	VINYL COMPOSITION TILE
BRG	BEARING	G.B.	GRADE BEAM	O.I.O.	OUT TO OUT	VERT	VERTICAL
BTJ	BOLTED TIE JOINT	G.C.	GENERAL CONTRACTOR	OF/CI	OWNER FURNISH / CONTRACTOR INSTALL	VEST.	VESTIBULE
BTWN	BETWEEN	G.F.R.G.	GLASS FIBER REINFORCED GYPSUM	OF/OI	OWNER FURNISH / OWNER INSTALL	VIF	VERIFY IN FIELD
BW	BACK OF WALK	G.I.	GALVANIZED IRON	OFF	OFFICE	VWC	VINYL WALL COVERING
C.B.	CATCH BASIN	G.R.	GUARDRAIL	OPNG	OPENING	W	WEST
C.G.	CORNER GUARD	GA	GAUGE	OPP	OPPOSITE	W.C.	WATER CLOSET
C.I.	CAST IRON	GALV	GALVANIZED	ORIG	ORIGINAL	W.P.	WORK POINT
C.I.P.	CAST-IN-PLACE	GB	GRAB BAR	OVHG	OVERHANG	W/	WITH
C.J.	CONTROL JOINT	GEN	GENERATOR	OZ	OUNCE	W/O	WITHOUT
C.L.	CENTERLINE	GFI	GROUND FAULT INTERRUPTED	P.C.	PRECAST CONCRETE	WD	WOOD
C.O.	CLEAN OUT	H.D.F.	HANDICAP DRINKING FOUNTAIN	P.O.C.	POINT OF CONNECTION	WDF	WIDE FLANGE
C.Y.	CUBIC YARD	HB	HOSE BIBB	P.T.	PRESSURE TREATED	WH	WATER HEATER
CANTL	CANTILEVER	HC	HANDICAP ACCESSIBLE	PL	PROPERTY LINE	WP	WATERPROOF
CEM	CEMENT	HDR	HEADER	PAR	PARALLEL	WRB	WEATHER RESISTANT BARRIER
CFL	COUNTERFLASHING	HDW	HEADER	PARA	PARAPET	PERF	PERFORATED
CID	CLEAR INSIDE DIMENSION	HDW	HARDWARE	PL	PLATE	PL	PLATE
CLG	CEILING	HDWD	HARDWOOD	PLAM	PLASTIC LAMINSTE	PLM	PLASTIC LAMINSTE
CLKG	CAULKING	HDWRE	HARDWARE	PLT.	PARTIAL BOARD	PLT.	PARTIAL BOARD
CLO	CLOSET	HM	HOLLOW METAL	BD.	BOARD	BD.	BOARD
CLR	CLEAR	HORIZ	HORIZONTAL	PLUM	PLUMBING	PLYWD	PLYWOOD
CLRM	CLASSROOM	HR	HOUR	PNT	PAINT	PR	PAIR
CMU	CONCRETE MASONRY UNIT	HRV	HEAT RECOVERY UNIT	PSF	POUNDS / SQUARE FOOT	PSF	POUNDS / SQUARE FOOT
CNTR	COUNTER	HSS	HOLLOW STEEL SECTION	PT	POINT	PT	POINT
COL	COLUMN	HT	HEIGHT	PTN	PARTITION	PTN	PARTITION
CONC	CONCRETE	HVAC	HEATING / VENTILATING / AIR CONDITIONING	PVC	POLYVINYL CHLORIDE	PVC	POLYVINYL CHLORIDE
CONN	CONNECTION	I.D.	INSIDE DIAMETER / DIMENSION	PVMT	PAVEMENT	PVMT	PAVEMENT
CONST	CONSTRUCTION	I.F.	INSIDE FACE	PWR	POWER	PWR	POWER
R		IN	INCH(ES)	QT	QUARRY TILE	QTY	QUANTITY
CONT	CONTINUOUS	INCD	INCLUDED	R	RADIUS / RISER	R	RADIUS / RISER
COORD	COORDINATE	IND	INDUSTRIAL	R.A.	RETURN AIR	R.A.	RETURN AIR
CORR	CORRIDOR	INDO	INDUSTRIAL	R.B.	RUBBER OR RESILIENT BASE	R.B.	RUBBER OR RESILIENT BASE
CPT	CARPET	INSUL	INSULATION	R.D.	ROOF DRAIN	R.D.	ROOF DRAIN
CSK	COUNTERSINK / COUNTERSUNK	INT	INTERIOR	R.O.	ROUGH OPENING	R.O.	ROUGH OPENING
CSMT	CASEMENT	J.B.	JUNCTION BOX	RAD	RADIUS	RAD	RADIUS
CT	CERAMIC TILE	J/B	JOIST / BEARING	REF	REFERENCE	REF	REFERENCE
CU FT	CUBIC FOOT / FEET	JAN	JANITOR	REFG	REFRIGERATOR	REFG	REFRIGERATOR
D.F.	DRINKING FOUNTAIN	JNT	JOINT	REINF	REINFORCED	REINF	REINFORCED
D.I.	DRAIN INLET	JST.	JOIST	REQD	REQUIRED	REQD	REQUIRED
D.K.	DECK	JT	JOINT	RESIL	RESILIENT	RESIL	RESILIENT
D.L.	DEAD LOAD	K	KIP (1000 lbs)	RET.	RETAINING	RET.	RETAINING
D.O.	DOOR OPENING	K.P.L.	KICK PLATE	REV	REVISED / REVISION	REV	REVISED / REVISION
DBA	DEFORMED BAR ANCHOR	K.D.	KNOCK DOWN	RH	ROOF HATCH	RH	ROOF HATCH
DBL	DOUBLE	K.O.	KNOCK OUT	RM	ROOM	RM	ROOM
DEG	DEGREE	KIT	KITCHEN	RTU	ROOF TOP UNIT	RTU	ROOF TOP UNIT
DEPT	DEPARTMENT	KW	KILOWATT	S	SOUTH	S	SOUTH
DIA	DIAMETER	L	LEGTH	S.C.	SOLID CORE	S.C.	SOLID CORE
DIAG	DIAGONAL	L.G.	LONG	S.F.	STOREFRONT	S.F.	STOREFRONT
DIM	DIMENSION	L.H.	LEFT HAND	S.O.G.	SLAB ON GRADE	S.O.G.	SLAB ON GRADE
DISP	DISPENSER	L.L.	LIVE LOAD	S.V.	SHEET VINYL	S.V.	SHEET VINYL
DIV	DIVISION	L.W.C.	LIGHT WEIGHT CONCRETE	SCHED	SCHEDULED	SCHED	SCHEDULED
DJ	DOUBLE JOIST	LAB	LABORATORY	SD	STORM DRAIN / SMOKE DETECTOR	SD	STORM DRAIN / SMOKE DETECTOR
DN	DOWN	LAM	LAMINATE	SECT.	SECTION	SECT.	SECTION
DR	DOOR	LAV	LAVATORY	SGT	STRUCTURAL GLAZED TILE	SGT	STRUCTURAL GLAZED TILE
DS	DOWNSPOUT	LB	POUND	SH	SHELF	SH	SHELF
DTL	DETAIL	LKR	LOCKER	SHT	SHEET	SHT	SHEET
DWG	DRAWING	LLH	LONG LEG HORIZONTAL	SHTHG	SHEATHING	SHTHG	SHEATHING
DWLS	DOWELS	LLV	LONG LEG VERTICAL	SHWR	SHOWER	SHWR	SHOWER
DWR	DRAWER			SIM.	SIMILAR	SIM.	SIMILAR

SYMBOLS LEGEND



GENERAL NOTES

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE SECTIONS OF THE FEDERAL, STATE AND LOCAL BUILDING CODES, ZONING ORDINANCE, HEALTH AND FIRE REGULATIONS AS ADOPTED BY THE LOCAL GOVERNING BUILDING AUTHORITY.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY BUILDING PERMITS FROM ALL GOVERNING AGENCIES INCLUDING THE CITY / TOWNSHIP AND SUBMIT FOR THEIR USE ANY CERTIFICATES OF INSURANCE, BONDS, ESCROW ACCOUNTS, LICENSES, PAY ALL FEES, OBTAIN ALL APPROVALS, ETC. ALL AS MAY BE REQUIRED TO COMPLETE THIS PROJECT
- CONTRACTOR SHALL RETAIN THE SERVICES OF AN APPROVED THIRD PARTY AGENCY TO PERFORM ALL SPECIAL INSPECTIONS AND TESTING AS REQUIRED BY THE LOCAL GOVERNING BUILDING CODE, GOVERNING BUILDING AUTHORITY, OR AS CALLED OUT IN THESE CONSTRUCTION DOCUMENTS. NOTIFY OWNER / ARCHITECT, IMMEDIATELY, OF ANY FAILED TESTS OR INSPECTIONS AND PROVIDE OWNER WITH ALL WRITTEN REPORTS AND TEST RESULTS AT PROJECT COMPLETION.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. IF ANY DIFFERENCES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING FOR CLARIFICATION PRIOR TO PROCESSING WITH WORK.
- THESE DOCUMENTS ARE DEVELOPED TO PROVIDE THE CONTRACTOR WITH A WORKING KNOWLEDGE OF THE SYSTEMS AND MATERIALS TO BE INSTALLED, AND THE SCOPE OF WORK. WHERE THESE DOCUMENTS ARE IN CONFLICT WITH THE JOB CONDITIONS, OR STANDARD DETAILS OR SPECIFICATIONS OF THE MANUFACTURED COMPONENT, OR AFFECT THE GUARANTEE, THEY SHALL BE MODIFIED AS REQUIRED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT.
- PROVIDE AND MAINTAIN SUITABLE TEMPORARY FENCES, BARRICADES, LIGHTS, WARNINGS, ETC. FOR PROTECTION OF PUBLIC AND OTHERS HAVING ACCESS TO THE SITE. CONTRACTOR SHALL KEEP CLEAN AND ADEQUATELY PROTECT ALL STREETS, DRIVES, WALKS, BLDGS, ETC., FROM DAMAGE DUE TO ANY ITEM INVOLVED WITH THIS WORK. ANY DAMAGED WORK SHALL BE REPLACED / REPAIRED AT CONTRACTORS EXPENSE.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BY CONTRACTING "MISS DIG", RESPONSIBLE UTILITY COMPANY. REVIEW ALL SURVEYS, AS BUILT DRAWINGS, AND SEEK ANY OTHER INFORMATION FROM THE OWNER, PRIOR TO BEGINNING EXCAVATION WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND COORDINATE ALL ASSOCIATED WORK WITH THE EXISTING UTILITIES AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.
- CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS (DO NOT SCALE DRAWINGS), WHERE NONE ARE PRESENT OR IN CONFLICT WITH WRITTEN, FIELD MEASURE AND/OR NOTIFY ARCHITECT FOR CLARIFICATION.
- SHOULD THE CONTRACT DOCUMENTS DISAGREE (DRAWINGS AND SPECIFICATIONS), THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING. THE BETTER QUALITY OR LARGER QUANTITY OF MATERIALS OR WORK SHALL BE INCLUDED IN THE BID AND UNLESS OTHERWISE ORDERED IN WRITING, SHALL BE FURNISHED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, SPECIFICATIONS AND ALL OTHER DATA OR INSTRUCTIONS PERTAINING TO THE WORK. BEFORE COMMENCING PHYSICAL WORK, THE CONTRACTOR SHALL LOCATE ALL GENERAL REFERENCE POINTS AND TAKE SUCH ACTION AS IS NECESSARY TO PREVENT THEIR DESTRUCTION; LAY OUT HIS WORK AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS OF BUILDINGS, GRADING, PAVING, UTILITIES AND OTHER WORK EXECUTED BY HIM UNDER THE CONTRACT. HE MUST EXERCISE PROPER PRECAUTIONS TO VERIFY FIGURES SHOWN ON DRAWINGS BEFORE LAYING OUT WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, HIS SUB-CONTRACTOR AND/OR SUPPLIER TO WORK FROM A FULL SET OF CONTRACT DOCUMENTS FOR BOTH THE WORK TO BE COMPLETED AND IN PREPARATION OF THE SHOP DRAWINGS, SO THAT EACH PART OR COMPONENT WILL WORK WITH THOSE PARTS AS FURNISHED OR FABRICATED BY OTHERS, AND THE ASSEMBLED WHOLE WORKS TOGETHER AS INTENDED.
- MATERIALS - SHALL BE NEW. SECONDS OR DAMAGED MATERIALS WILL BE REJECTED BY THE ARCHITECT, WHO RESERVES THE RIGHT TO DISAPPROVE AND REJECT ANY MATERIALS PROPOSED OR INSTALLED, WHICH IN HIS OPINION FAIL TO MEET QUALITY STANDARDS SPECIFIED.
- THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO ASBESTOS AND HAZARDOUS MATERIALS IN ANY FORM FOR THE PROJECT.
- AS-BUILTS - THE CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL DEVIATIONS FROM THE CONTRACT DRAWINGS AND SPECIFICATIONS. HE SHALL NEATLY AND CORRECTLY DRAFT (NO FREEHAND) ANY DEVIATIONS ON THE DRAWINGS AFFECTED AND SHALL KEEP DRAWINGS AVAILABLE FOR INSPECTION. GIVE TO THE ARCHITECT AT COMPLETION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEM, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISHED FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF THE CEILING).
- IN AREAS OF NEW WORK, ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT (I.E. TERMINAL BOXES, VALVES, DAMPERS, ETC.), WHETHER OR NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK AND RECEIVE APPROVAL OF THE ARCHITECT. ACCESS PANEL SHALL NOT BE LOCATED, FRAMED OR INSTALLED WITHOUT EXPRESSED APPROVAL OF THE ARCHITECT.
- ALL DUCT PENETRATION THROUGH PARTITIONS AND CEILINGS SHALL BE PROVIDED WITH NECESSARY FRAMED OPENINGS, BRACING, AND FIRE DAMPERS AS REQUIRED BY CODE.
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING PRIOR TO PROCEEDING WITH WORK.
- SIZE OF MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY DIMENSIONS WITH RESPECTIVE EQUIPMENT MANUFACTURER.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.



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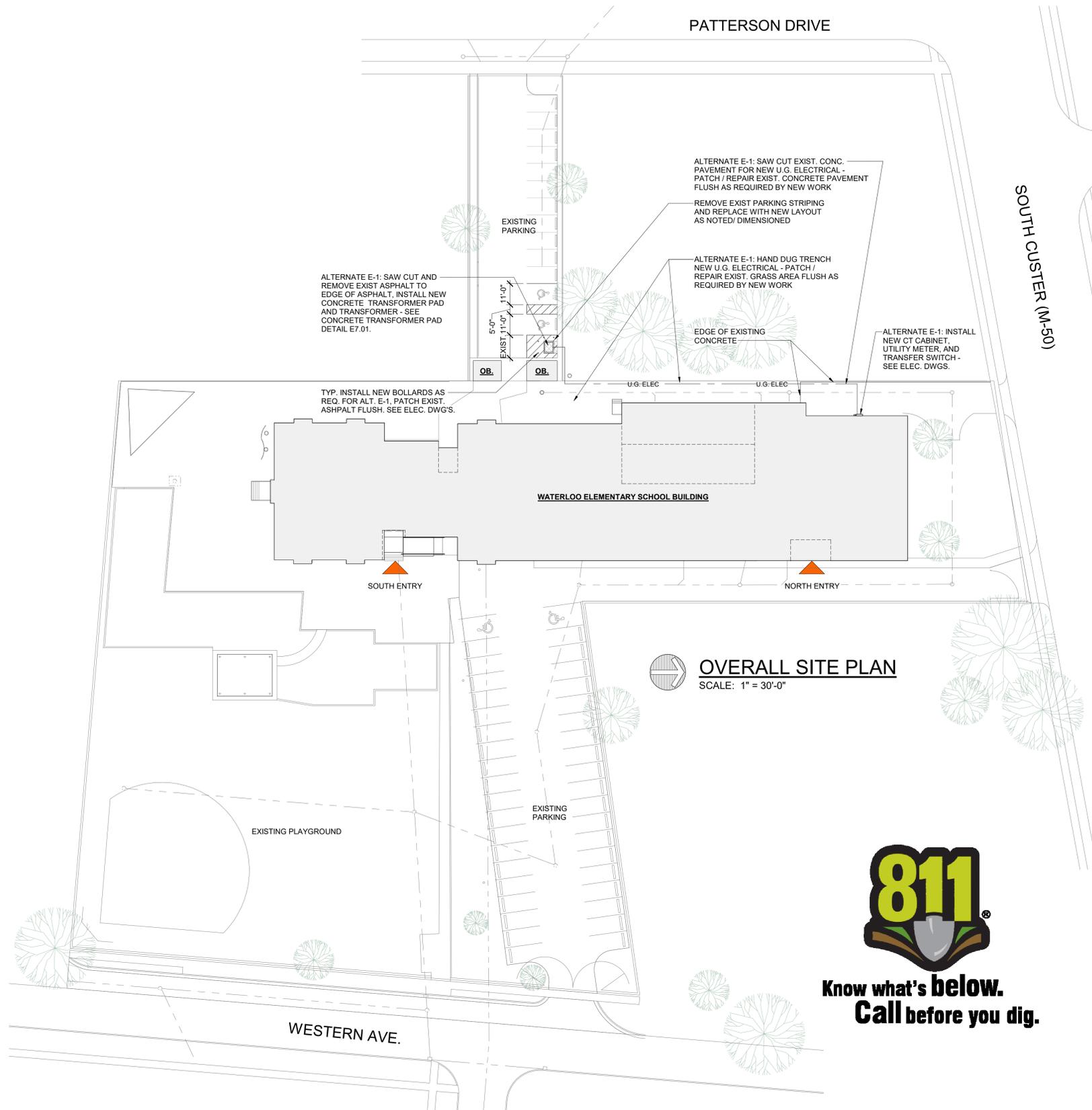
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ABBREVIATIONS, LEGENDS, SYMBOLS

T1.00

7/11/2022 1:18:44 PM Autodesk Docs\MPIS - Waterloo - 22114 - Mechanical\MPIS-Waterloo-22114-Mechanical-2022.rvt



**OVERALL SITE PLAN**  
SCALE: 1" = 30'-0"



**Know what's below.  
Call before you dig.**



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JOB # **22114**

DRAWN	Author
CHECKED	Checker

SITE PLAN

**C0.00**



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**MAKE**  
**MAKE**



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**CODE COMPLIANCE PLAN**  
SCALE: 1/16" = 1'-0"

**WATERLOO ELEMENTARY**

1933 South Custer Road, Monroe, MI

**BUILDING CODE REVIEW**

BUILDING CODE:	2015 MICHIGAN BUILDING CODE	
	2015 MICHIGAN REHABILITATION CODE	
	2015 MICHIGAN MECHANICAL CODE	
	2018 MICHIGAN PLUMBING CODE	
	2015 MICHIGAN ENERGY CODE	
	2017 NATIONAL ELECTRICAL CODE (NEC)	= 24,459 S.F.
BUILDING AREA:	EXISTING BUILDING (GROSS)	
BUILDING OCCUPANCY TYPE:	(SEC. 305.1)	<b>EDUCATIONAL GROUP E</b>
CONSTRUCTION TYPE:	(SEC. 602.5, TABLE 601)	<b>TYPE IIB NS</b>
ALLOWABLE AREA:	(TABLE 506.2.1)	14,500 S.F.
INCREASE ALLOWABLE:	(SEC. 506.1)	N.R.
ALLOWABLE HEIGHTS:	(TABLE 504.3)	5'
ALLOWABLE NUMBER OF STORIES:	(TABLE 504.4)	2
HEIGHT MODIFICATION:	(SEC. 504.3)	N.A.
FIRE RESISTIVE CONSTRUCTION:	(TABLE 601)	0
STRUCTURAL FRAMING:		
BEARING WALLS:		
EXTERIOR:	(TABLE 601.602)	2
INTERIOR:	(TABLE 601)	0
NON-BEARING WALLS:		
EXTERIOR:	(TABLE 601.602)	1 HR. <= 5'
INTERIOR:	(TABLE 601)	0
FLOOR CONSTRUCTION:	(TABLE 601)	0
ROOF CONSTRUCTION:	(TABLE 601)	0
EXIT ACCESS:		
CORRIDOR WALLS:	(SEC. 708, SEC. 1020.1)	1 HR. W/O SPRINKLER SYSTEM AND > 30 PEOPLE
* EXIT CORRIDORS:	(SEC. 1024.3)	1 HR. FOR ALL EXIT PASSAGEWAYS (WALLS, CEILING & FLOORS)
CORRIDOR WIDTH:	(TABLE 1020.2)	< 50 PEOPLE = 36" MIN., > 100 PEOPLE = 72" MIN., OTHERWISE 44"
SHAFTS:	(SEC. 713.2)	N.A.
STAIRWELLS:	(SEC. 1023.2)	36" MIN. CLEAR WIDTH BETWEEN HANDRAILS
INCIDENTAL USES:	(SEC. 509)	BOILER ROOMS - 1 HR.
		IN GROUP E, LABORATORIES & VOCATIONAL SHOPS - 1 HR.
FIRE WALLS:	(SEC. 706, TABLE 706.4)	3 HR.
FIRE BARRIER:	(TABLE 707.3.10)	2 HR.
DRAFTSTOPPING:	(SEC. 718)	REQUIRED IF COMBUSTIBLE CONSTRUCTION IN FLOOR / CEILING
FIRE BLOCKING:	(SEC. 718)	REQUIRED IF COMBUSTIBLE CONSTRUCTION IN WALLS
FIRE SPRINKLERS:	(SEC. 901.7, SEC. 903.2.3)	REQUIRED IF FIRE AREA > 12,000 S.F. (BETWEEN FIRE SEPARATION)
* NOTE: BUILDINGS CAN BE SECTIONED INTO FIRE AREAS. SEPARATED BY FIRE WALLS TO INCREASE NON-SPRINKLED AREAS		
FIRE ALARMS:	(SEC. 907.2.3)	REQUIRED IN GROUP E OCCUPANCY WITH > 50 OCCUPANTS (NEW BUILDINGS AND STRUCTURES)

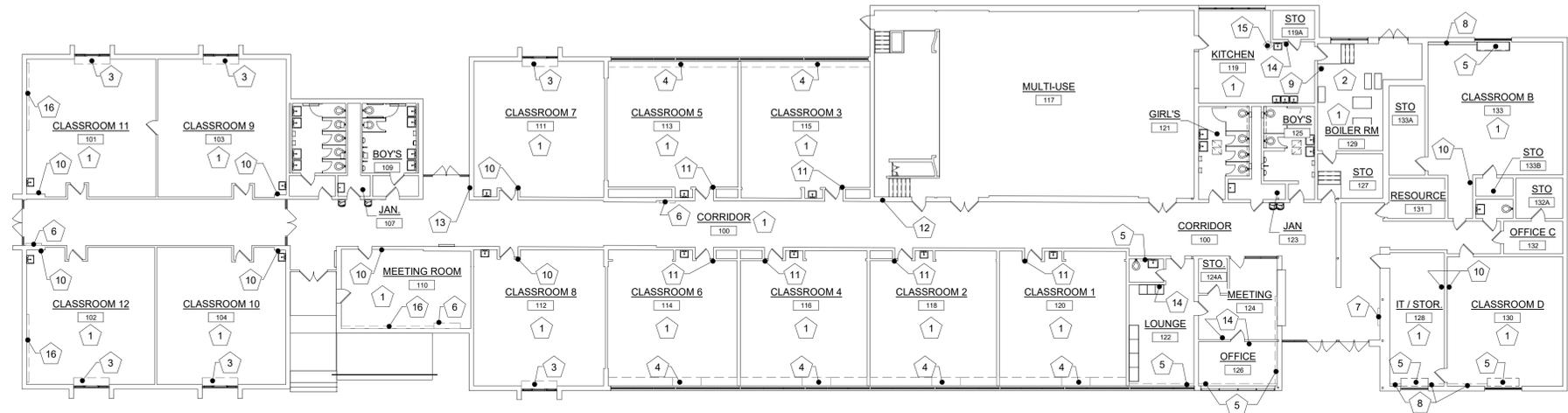
**MECHANICAL UPDATES AND RELATED WORK**  
**WATERLOO ELEMENTARY SCHOOL**  
1933 SOUTH CUSTER ROAD, MONROE, MI 48161  
**MONROE PUBLIC SCHOOLS**  
1275 N. MACOMB STREET, MONROE, MI 48162

AT FOR

JOB # **22114**  
DRAWN: JJW  
CHECKED: VMC

**CODE COMPLIANCE PLAN**

**LS1.00**



**DEMOLITION FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

PLAN LEGEND	
	EXISTING WALLS AS NOTED ON PLAN
	CONSTRUCTION NOTE TAG - SEE CONSTRUCTION NOTES.
	DEMOLITION NOTE TAG - SEE DEMO NOTES.
ROOM NAME	NEW ROOM NAME AND NUMBERS

**DEMOLITION KEYNOTES**

- # KEYNOTE
- DEMOLITION CONTRACTOR TO PROTECT ADJACENT AREAS FROM DUST, EXCESSIVE NOISE OR DISRUPTION OF OPERATION. ANY WORK UNDER THE CONTRACT THAT WILL INTERRUPT THE OWNER'S ACTIVITIES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
  - BOILER ROOM UPDATING (SEE MECHANICAL) - WORK INCLUDES, BUT NOT LIMITED TO THE FOLLOWING; REMOVE EXIST. BOILER, MECHANICAL EQUIPMENT, ETC. - PATCH EXIST. FLOOR, WALLS, AND CEILINGS FLUSH FOR NEW WORK.
  - REMOVE EXST. UNIT VENTILATOR IN FRONT OF EXST. CURTAIN WALL SYSTEM. CLEAN / PREP AREA FOR NEW UNIT VENTILATOR INSTALLATION.
  - REMOVE EXST. UNIT VENTILATOR AND ADJACENT SHELVES IN FRONT OF EXST. MASONRY WALL BELOW WINDOW. CLEAN / PREP AREA FOR NEW UNIT VENTILATOR AND SHELVING INSTALLATION.
  - REMOVE EXST. UNIT VENTILATOR IN FRONT OF EXST. CURTAIN WALL SYSTEM WITH WOOD SILL. CLEAN / PREP AREA FOR NEW UNIT VENTILATOR INSTALLATION.
  - REMOVE EXST. SURFACE MOUNTED CABINET UNIT HEATER. CLEAN / PREP EXST. MASONRY WALL FOR NEW CABINET UNIT HEATER INSTALLATION.
  - REMOVE EXST. SURFACE MOUNTED CONVECTOR. CLEAN / PREP EXST. MASONRY WALL FOR NEW CABINET UNIT HEATER INSTALLATION.
  - REMOVE EXST. PIPE ENCLOSURE AT FLOOR. CLEAN / PREP EXST. MASONRY WALL AND REFURBISH EXST. ENCLOSURE FOR REINSTALLATION.
  - DEMO EXST. FLUE THROUGH CEILING / ROOF. CLEAN / PREP AREA FOR REPAIR WORK AS REQ'D.
  - REMOVE EXST. THERMOSTAT CLEAN / PREP CMU WALL FOR NEW THERMOSTAT
  - REMOVE EXIST THERMOSTAT CLEAN / PREP WOOD WALL FOR NEW THERMOSTAT
  - REMOVE EXST. ELECTRICAL PANEL CLEAN / PREP CMU WALL FOR NEW ELECTRICAL PANEL
  - CUT / REMOVE CMU FOR NEW ELECTRICAL PANEL. CLEAN / PREP CMU WALL
  - REMOVE EXST. THERMOSTAT CLEAN / PREP GYP. BD. WALL FOR NEW THERMOSTAT
  - REMOVE EXST. CEILING MOUNTED UNIT HEATER. CLEAN / PREP GYP. BD. CEILING FOR NEW UNIT HEATER INSTALLATION.
  - REMOVE EXST. FIN-TUBE AND ENCLOSURE AT FLOOR. CLEAN / PREP EXST. MASONRY WALL FOR NEW FIN-TUBE AND ENCLOSURE INSTALLATION.

**GENERAL DEMOLITION / PROTECTION NOTES:**

- COORDINATE ALL DEMOLITION WITH THE OWNER'S HAZARDOUS MATERIAL ABATEMENT DOCUMENTS AND SCOPE.
- DEMOLITION CONTRACTOR TO PROTECT ALL AREAS ADJACENT TO CONSTRUCTION AND COMMON POINTS OF TRAVEL TO AND FROM CONSTRUCTION AREAS. PROTECTION IN THESE AREAS TO INCLUDE AIR QUALITY, WALK SURFACES, EQUIPMENT, FURNISHINGS, BUILDING OCCUPANTS, ETC. FROM DUST / DEBRIS, EXCESSIVE NOISE, WEAR, OR DAMAGE OF ANY KIND. PRIOR TO ANY PHYSICAL WORK, THE CONTRACTOR MUST HAVE A WRITTEN PLAN FOR PROTECTION APPROVED BY THE ARCHITECT.  
  
AREA OF HIGH REPLACEMENT VALUE OR MORE LIKELY FOR DAMAGE ARE TO HAVE ADDED PROTECTION (I.E. GYM FLOORS, ROOFING, ETC.)
- ANY WORK UNDER THE CONTRACT THAT WILL INTERRUPT THE OWNER'S ACTIVITIES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- ALL DEMOLITION WORK REQUIRED IS NOT LIMITED TO THAT INDICATED ON PLAN. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF DEMOLITION WORK, CONTRACTOR IS TO INSPECT ALL AREAS IN WHICH WORK WILL BE PERFORMED. DOCUMENT EXISTING CONDITIONS OF STRUCTURE, SURFACES, EQUIPMENT OR SURROUNDING AREAS WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM DEMOLITION WORK AND FILE WITH ARCHITECT.
- NOTIFY ARCHITECT IF ANY EXISTING ITEM THAT CONFLICTS WITH THE INTENDED FINAL PRODUCT IS NOT SPECIFICALLY CALLED OUT. DEMOLITION CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS & FIELD CONDITIONS BEFORE PROCEEDING WITH DEMOLITION AND / OR CONSTRUCTION.
- ALL DEMOLITION WORK, UNLESS OTHERWISE NOTED IN THE PROJECT MANUAL, DRAWINGS OR DIRECTED BY OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ALL DEBRIS CAUSED BY DEMOLITION AND CONSTRUCTION SHALL BE CLEARED AND REMOVED FROM THE SITE. DEBRIS STORAGE SHALL NOT INFRINGE ON CLEAR PATH OF EGRESS.
- PROVIDE SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, DAMAGE OR COLLAPSE OF STRUCTURE OR ANY OTHER ITEMS TO REMAIN WITHIN AND/OR AROUND DEMOLITION CONTRACT LIMITS.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- PROTECT EXISTING STRUCTURES, FINISHES, UTILITIES AND OTHER ITEMS SCHEDULED TO REMAIN. AREAS THAT ARE DAMAGED BY SELECTIVE DEMOLITION SHALL BE PATCHED AND REPAIRED AND FINISHED OR REPLACED TO MATCH EXISTING ADJACENT SURFACES.
- OWNER TO SALVAGE AND STORE ALL EQUIPMENT TO BE REUSED PRIOR TO DEMOLITION.
- CONTRACTOR TO COORDINATE A WALK THROUGH WITH THE OWNER PRIOR TO EACH PHASE OF DEMOLITION TO IDENTIFY REMAINING ITEMS TO BE SALVAGED.
- FOR ANY ITEMS TO BE SALVAGED BY CONTRACTOR, PROVIDE A DETAILED INVENTORY LIST OF ALL SALVAGED ITEMS AND THEIR STORED LOCATIONS ON SITE.
- SHOULD HIDDEN FIELD CONDITIONS REQUIRE MODIFICATIONS TO THE LAYOUT, THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT.



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DATE	DESCRIPTION
7.12.2022	BIDDING & STATE REVIEW

**MECHANICAL UPDATES AND RELATED WORK**  
AT  
**WATERLOO ELEMENTARY SCHOOL**  
1933 SOUTH CUSTER ROAD, MONROE, MI 48161  
FOR  
**MONROE PUBLIC SCHOOLS**  
1275 N. MACOMB STREET, MONROE, MI 48162

JOB #	22114
DRAWN	JJW
CHECKED	VMC

DEMOLITION FLOOR PLAN

**A1.00**



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**MAKE**



DATE: 7.12.2022  
DESCRIPTION: BIDDING & STATE REVIEW

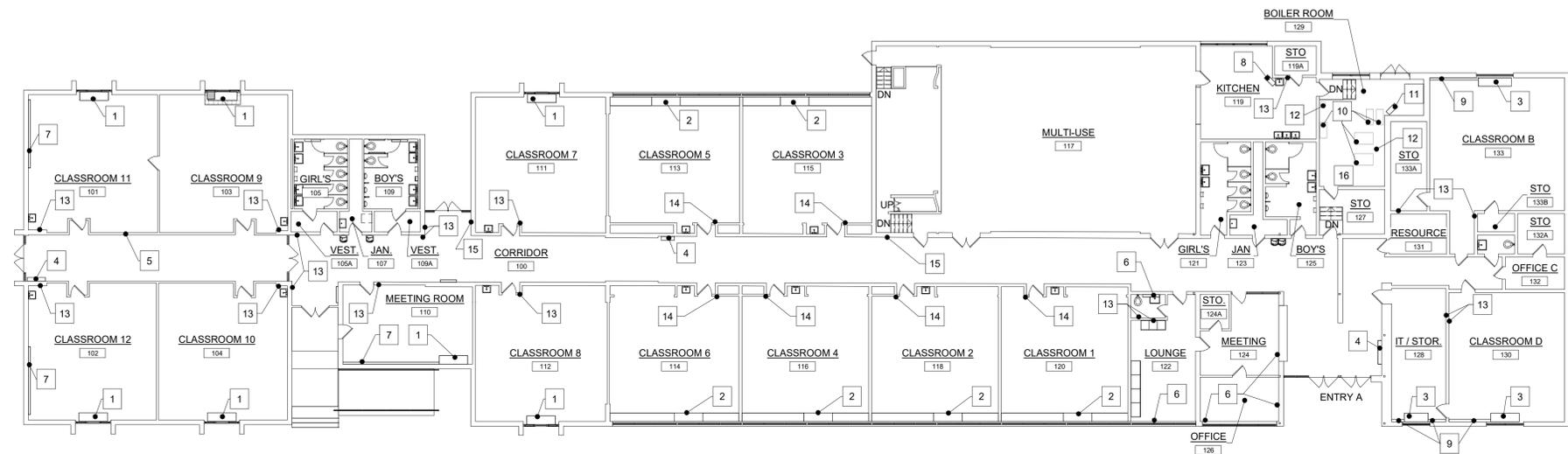
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CONSTRUCTION FLOOR PLAN

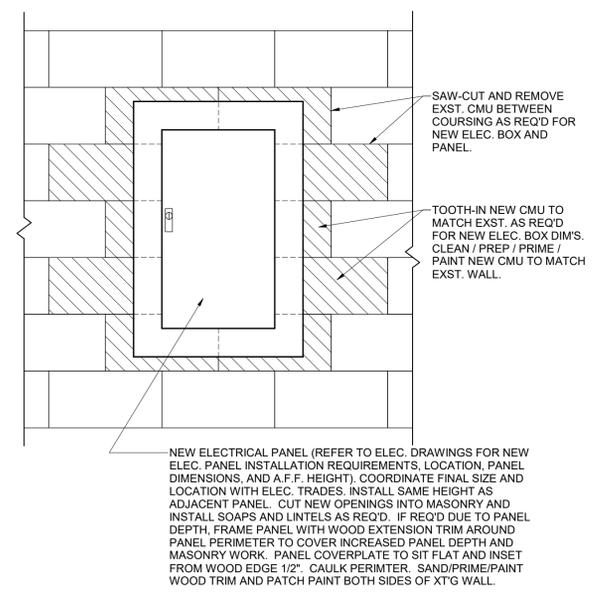
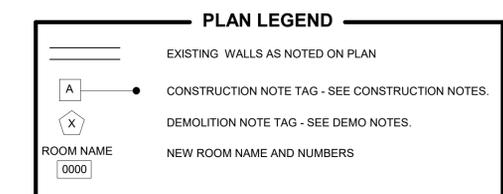
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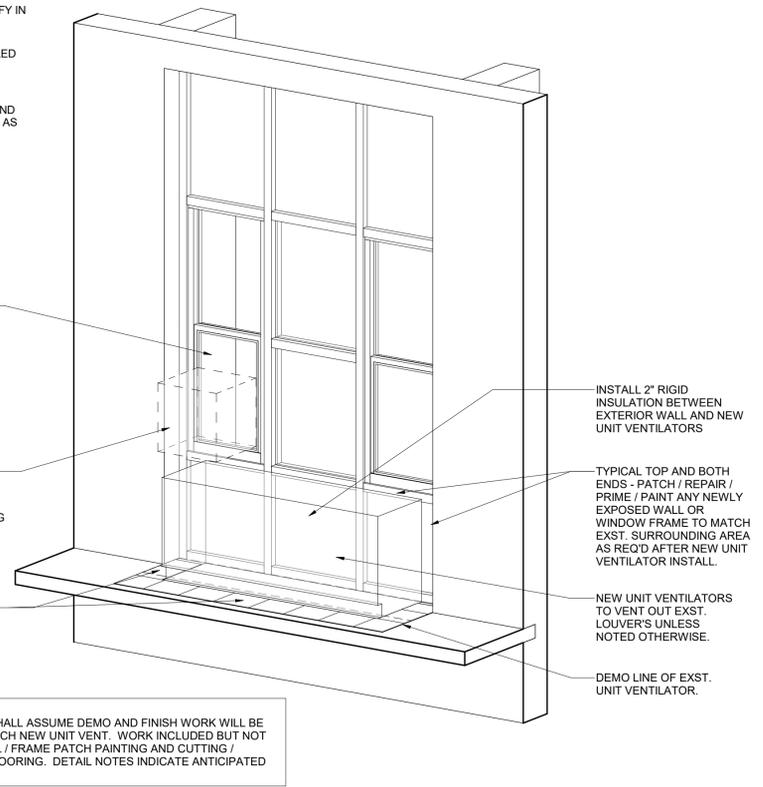
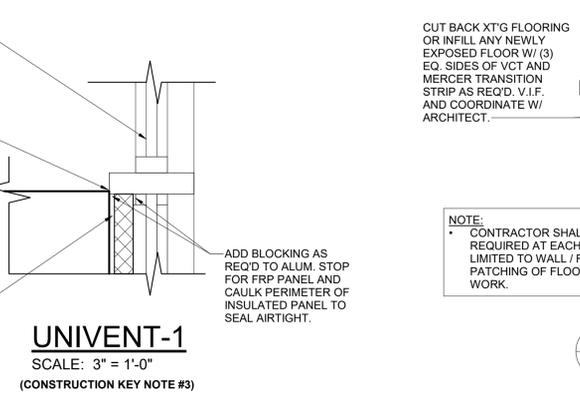
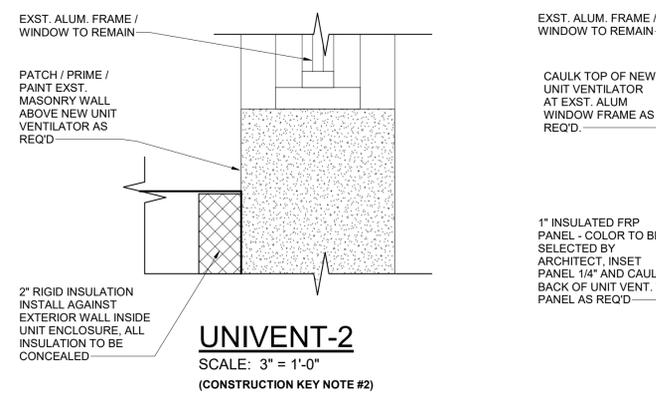
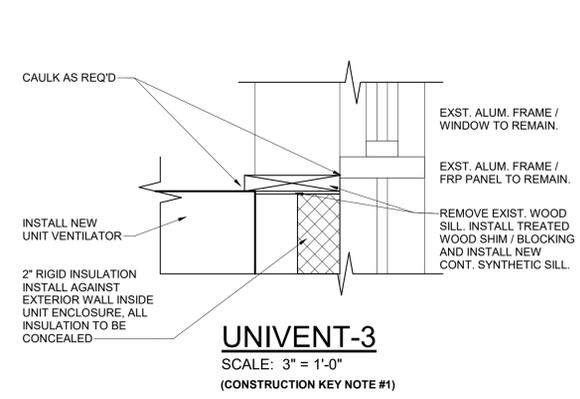
**CONSTRUCTION KEYNOTES**

- # KEYNOTES
- 1 PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST. CURTAIN WALL FRAME AS REQ'D AFTER INSTALLATION OF NEW UNIT VENTILATORS AND SHELVES. INSTALL 2" RIGID INSULATION AGAINST EXTERIOR WALL INSIDE UNIT ENCLOSURE. NO EXPOSED INSULATION. CUT / REMOVE / REPLACE CARPET OR VINYL TILE AS REQ'D. REFER TO UNIVENT-3 SECTION / DETAIL ON SHEET A1.10.
- 2 PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST. MASONRY WALL BELOW WINDOW SILL AS REQ'D AFTER INSTALLATION OF NEW UNIT VENTILATORS AND ADJACENT SHELVING. INSTALL 2" RIGID INSULATION AGAINST EXTERIOR WALL INSIDE UNIT ENCLOSURE. NO EXPOSED INSULATION. CUT / REMOVE CARPET AS REQ'D. REFER TO UNIVENT-2 SECTION / DETAIL ON SHEET A1.10.
- 3 PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST. MASONRY WALL BELOW WINDOW SILL AS REQ'D AFTER INSTALLATION OF NEW UNIT VENTILATOR. INSTALL 2" RIGID INSULATION AGAINST EXTERIOR WALL INSIDE UNIT ENCLOSURE. NO EXPOSED INSULATION. CUT / REMOVE CARPET AS REQ'D. REFER TO UNIVENT-1 SECTION / DETAIL ON SHEET A1.10.
- 4 INFILL ANY OPENINGS IN EXST. MASONRY WALL AFTER REMOVAL OF EXST. SURFACE MOUNTED CABINET UNIT HEATER. PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST. WALL AFTER INSTALLATION OF NEW CABINET UNIT HEATER.
- 5 PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST. GYP. BD. WALL AS REQUIRED AFTER INSTALLATION OF NEW EQUIPMENT
- 6 EXST. FIN-TUBE AND ENCLOSURE TO BE REFURBISHED AS REQ'D AND REINSTALLED IN EXST. LOCATION. REPLACE VINYL BASE IF REQ'D.
- 7 INFILL ANY OPENINGS IN EXST. MASONRY WALL AFTER REMOVAL OF EXST. FIN-TUBE AND ENCLOSURE. PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST. WALL AFTER INSTALLATION OF NEW FIN-TUBE AND ENCLOSURE. REPLACE VINYL BASE AS REQ'D.
- 8 INSTALL NEW CEILING HUNG UNIT HEATER AS REQ'D IN SAME PLACE AS EXST.
- 9 EXST. PIPE ENCLOSURE TO BE REFURBISHED AS REQ'D AND REINSTALLED IN EXST. LOCATION. REPLACE VINYL BASE IF REQ'D.
- 10 EXST. CONC. MECHANICAL PADS TO REMAIN. PATCH / PRIME / PAINT
- 11 INSTALL NEW CEILING MOUNTED UNIT HEATER AS REQ'D. MECH. CONTRACTOR WILL VERIFY IN FIELD.
- 12 REPAIR CEILING / ROOF AS REQ'D AFTER REMOVAL OF EXST. FLUE PER MECH. DRAWINGS.
- 13 PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST. MASONRY WALL AS REQUIRED AFTER INSTALLATION OF NEW EQUIPMENT
- 14 PATCH / STAIN ANY NEWLY EXPOSED AREAS OF EXST. WOOD WALL AS REQUIRED AFTER INSTALLATION OF NEW EQUIPMENT
- 15 TOOTH-IN CMU AT NEW ELECTRICAL PANEL OPEN'G MATCH EXST. MASONRY THICKNESS AND COURSING. PATCH / PRIME / PAINT ANY NEWLY EXPOSED AREAS OF EXST MASONRY WALL AS REQUIRED AFTER INSTALLATION OF NEW ELECTRICAL PANEL. SEE DETAIL '3' THIS SHEET.
- 16 PATCH / PRIME / PAINT WALLS, DOORS AND HANDRAILS. EPOXY PAINT THE FLOORS

**CONSTRUCTION FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



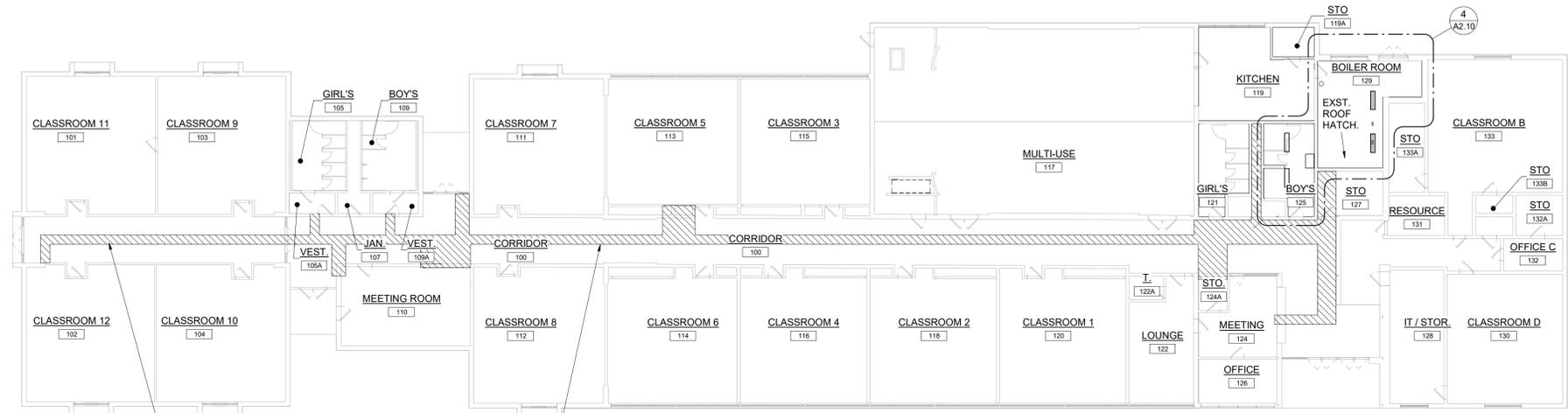
**3 TYP. NEW ELEC. PANEL DIAGRAM**  
SCALE: 1" = 1'-0"



**2 TYPICAL NEW UNIT VENT. DIAGRAM**  
SCALE:

**NOTE:**  
CONTRACTOR SHALL ASSUME DEMO AND FINISH WORK WILL BE REQUIRED AT EACH NEW UNIT VENT. WORK INCLUDED BUT NOT LIMITED TO WALL / FRAME PATCH PAINTING AND CUTTING / PATCHING OF FLOORING. DETAIL NOTES INDICATE ANTICIPATED WORK.

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IN AREA OF HVAC WORK:  
REMOVAL OF EXIST. CEILING TILE TO BE  
COORDINATED WITH MECHANICAL TRADES.  
CATALOG AND STORE DURING INSTALLATION OF  
NEW REFRIGERANT PIPING. REINSTALL CEILING  
TILE UPON COMPLETION OF HVAC WORK.

**REFLECTED CEILING PLAN**  
SCALE: 1/16" = 1'-0"



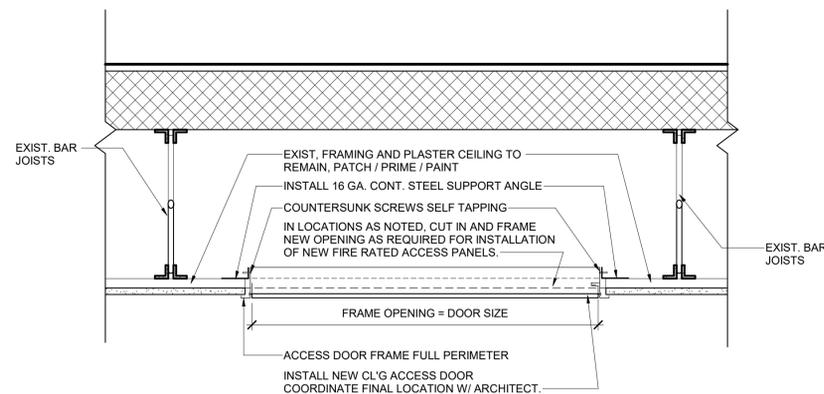
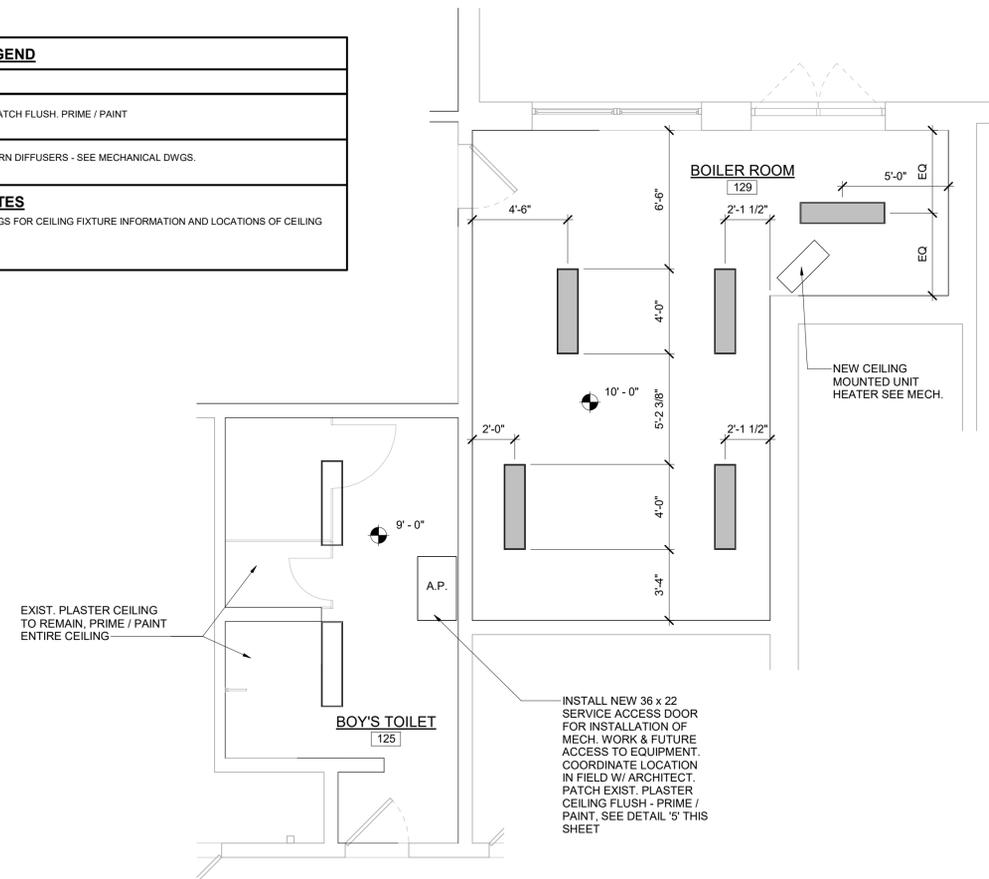
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DATE: 7.12.2022  
DESCRIPTION: BIDDING & STATE REVIEW

REFLECTED CEILING PLAN LEGEND	
SYMBOL	DESCRIPTION
	EXIST. PLASTER CEILING - PATCH FLUSH, PRIME / PAINT
	MECHANICAL SUPPLY / RETURN DIFFUSERS - SEE MECHANICAL DWGS.

**REFLECTED CEILING PLAN NOTES**  
1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR CEILING FIXTURE INFORMATION AND LOCATIONS OF CEILING FIXTURE.



**5 CEILING ACCESS PANEL**  
SCALE: 1 1/2" = 1'-0"

**4 ENLARGED REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

MECHANICAL UPDATES AND RELATED WORK

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REFLECTED CEILING PLAN

**A2.10**

